



CITY OF SOMERVILLE, MASSACHUSETTS
MAYOR'S OFFICE OF STRATEGIC PLANNING & COMMUNITY DEVELOPMENT
JOSEPH A. CURTATONE
MAYOR

GEORGE J. PROAKIS
EXECUTIVE DIRECTOR

PLANNING DIVISION
HISTORIC PRESERVATION

SARAH WHITE, MDS-HP
ZONING PLANNER & PRESERVATION PLANNER

September 15, 2020
Case: HPC.ALT 2020-15
Site: 8 Aldersey Street, #2

ALTERATION OF A LOCAL HISTORIC DISTRICT PROPERTY
STAFF REPORT

Site: 8 Aldersey Street, #2

Applicant Name: Matt Ball
Owner Name: Same as applicant

Petition: Construct rear deck.

HPC Hearing Date: September 15, 2020



I. PROJECT DESCRIPTION

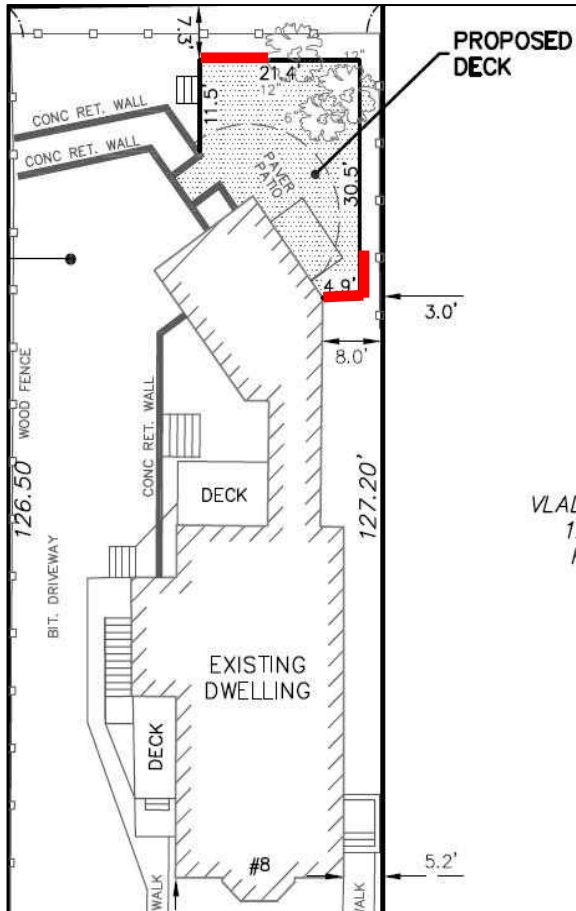
- 1. Subject Property:** The subject property is in the Aldersey-Summit Local Historic District (LHD). See the attached Form B for architectural and historical descriptions of the property.

Proposal: The Applicant proposes constructing a first-floor level rear deck with a cable wire railing system topped with a PT or hardwood top rail. The deck will be attached to a rear addition whose construction was approved by the HPC in 2003.

The portions of the deck that will be visible from public ways are limited and are indicated in **red** on the image of the site plan below. The limited view corridors are from Aldersey Street itself and Wesley Park.

The HPC only has purview over these specific viewable portions of the project.

The images below, starting top left, clockwise: site plan indicating publicly-viewable portions of proposed deck; deck area visible from Aldersey Street; side view of deck area to demonstrate downslope location; view corridors of deck area from Aldersey Street and Wesley Park.



II. FINDINGS

The HPC must make findings based on the Historic District Ordinance (HDO) in compliance with M.G.L. Chapter 40C, and associated Design Guidelines. The portions of the regulations that are applicable to the proposed alterations are discussed below.

A. INSTALL DECK WITH RAIL SYSTEM

The applicable section of the Somerville LHD Design Guidelines is *“E. New Additions, item 3”* which reads as follows:

- 3 New additions or alterations should be done in a way that, if they were to be removed in the future, the basic form and integrity of the historic property would remain intact.*

HPC Determination:

- The HPC must determine if, based on a review of the documentation presented, the proposed project satisfies the applicable guideline for “New Additions”.
- The HPC must structure their motion to include their own specific findings on the proposed project.

Preservation Planning Assessment:

The construction of this deck is considered a new alteration to the property. As noted in the “Proposal” portion of this report, the portion of the project that falls under HPC purview is very limited in scope.

A 4’9” length of the deck and rail running perpendicular to the house will be visible from Aldersey Street. A roughly 4’9” length of the deck and rail running toward the rear of the lot will also be visible from Aldersey Street. A section of the deck and rail system will be visible from a limited portion of Wesley Park.

It is Preservation Planning’s position that if this proposed deck were to be removed in the future, the basic form and integrity of the historic property would remain intact, which is in keeping with the applicable portion of the guidelines. As noted, this is an alteration at the very rear of the property that will be appended to a 21st-century addition. The historic portion of the 8 Aldersey structure will remain intact and untouched by this project.

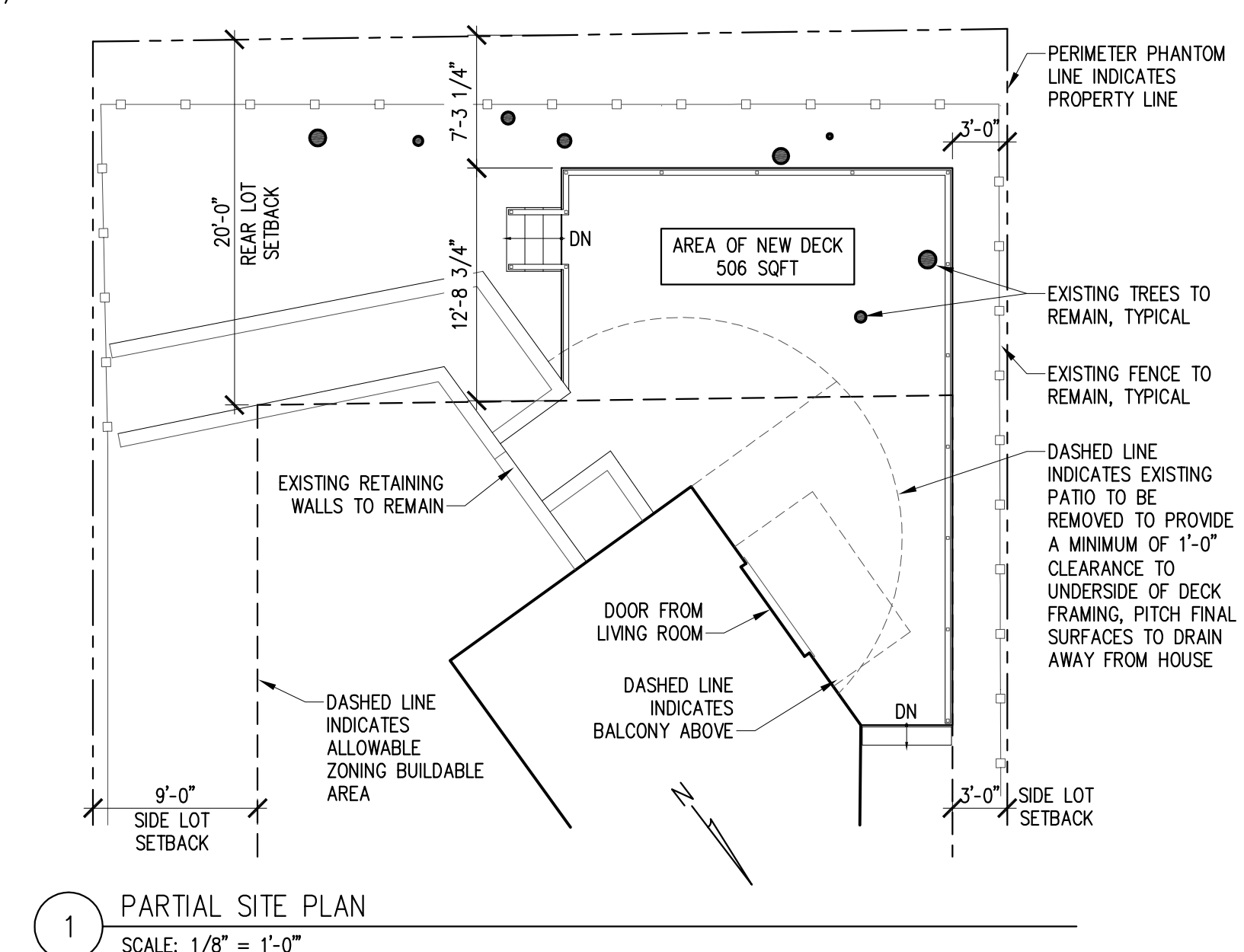
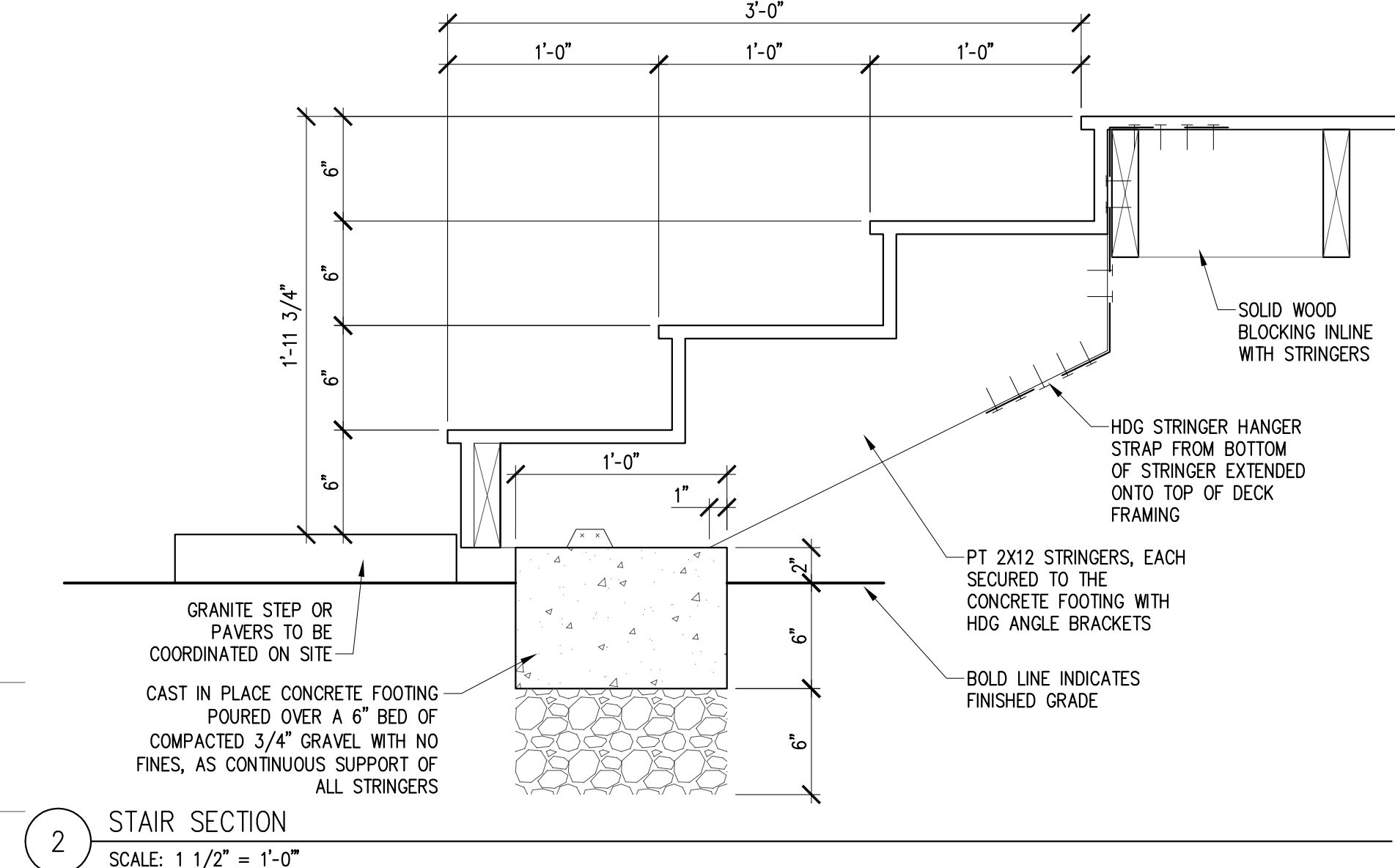
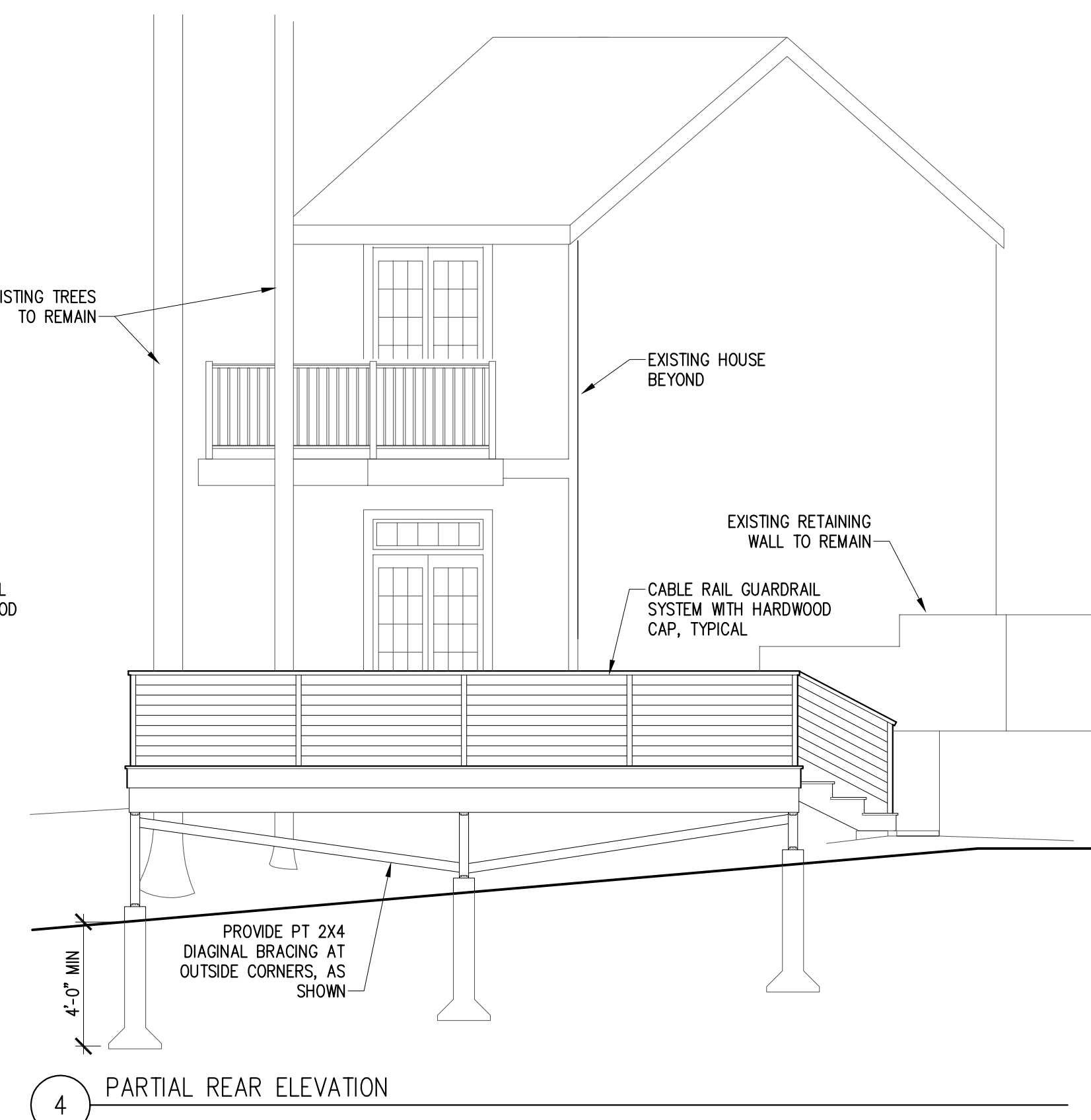
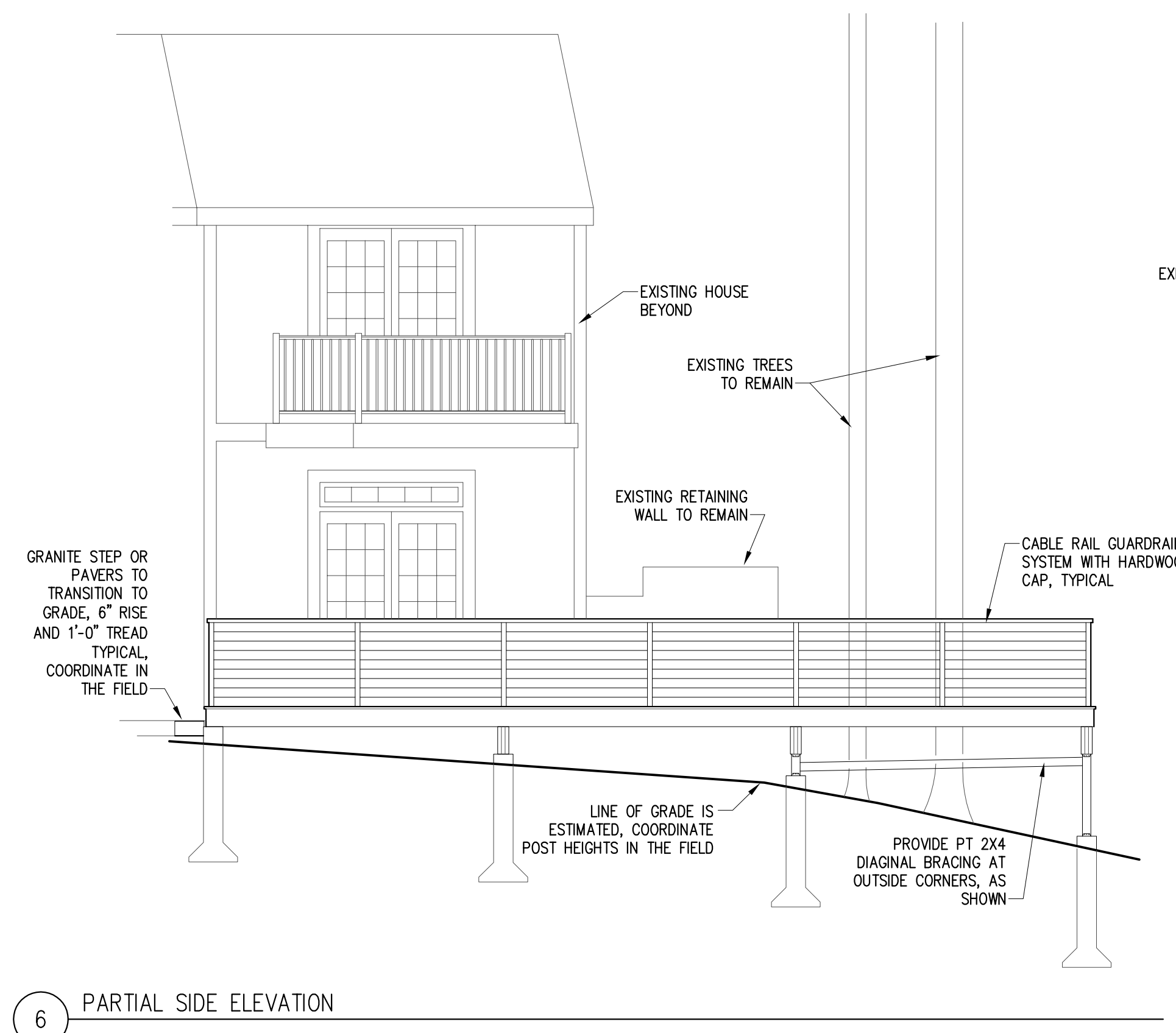
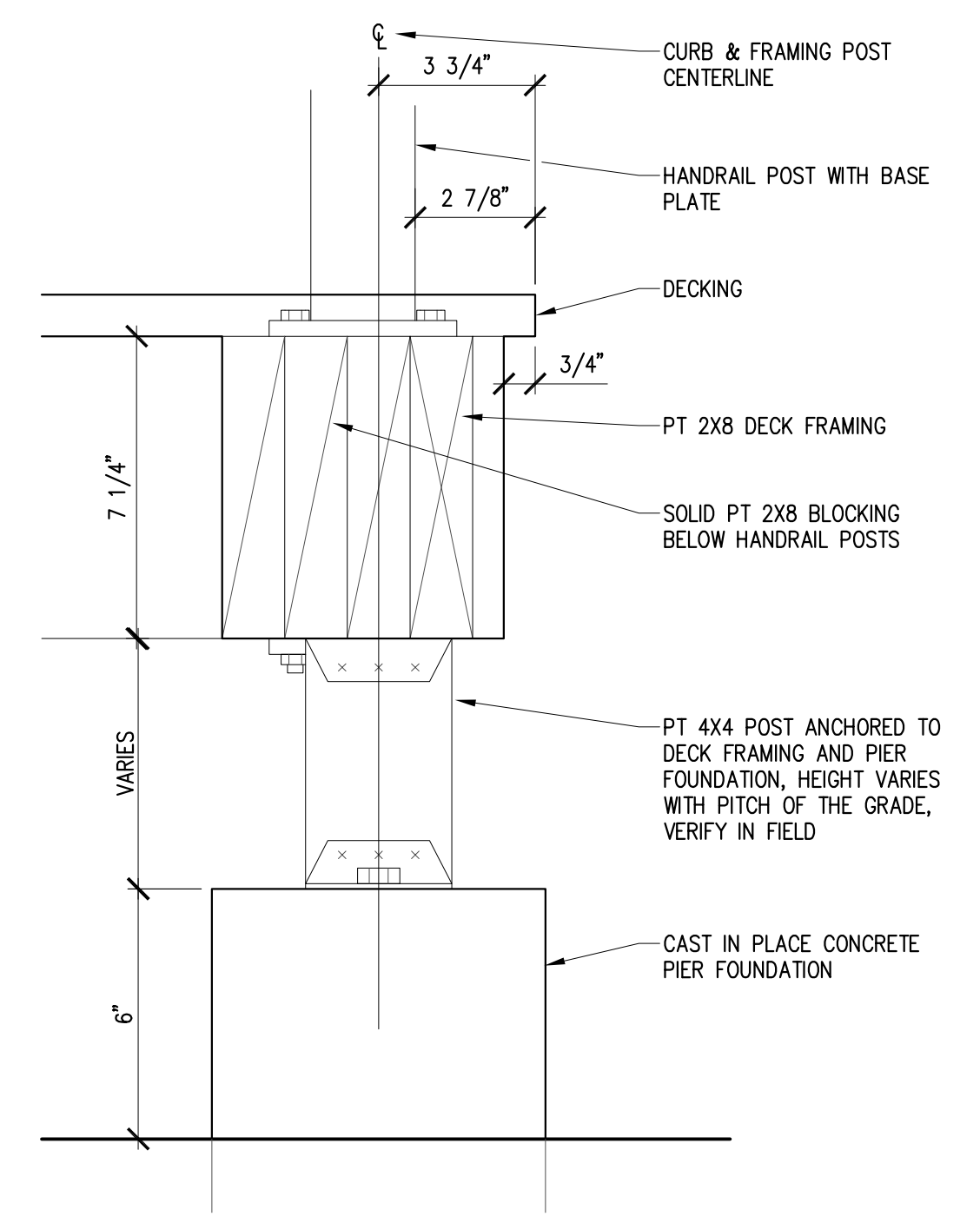
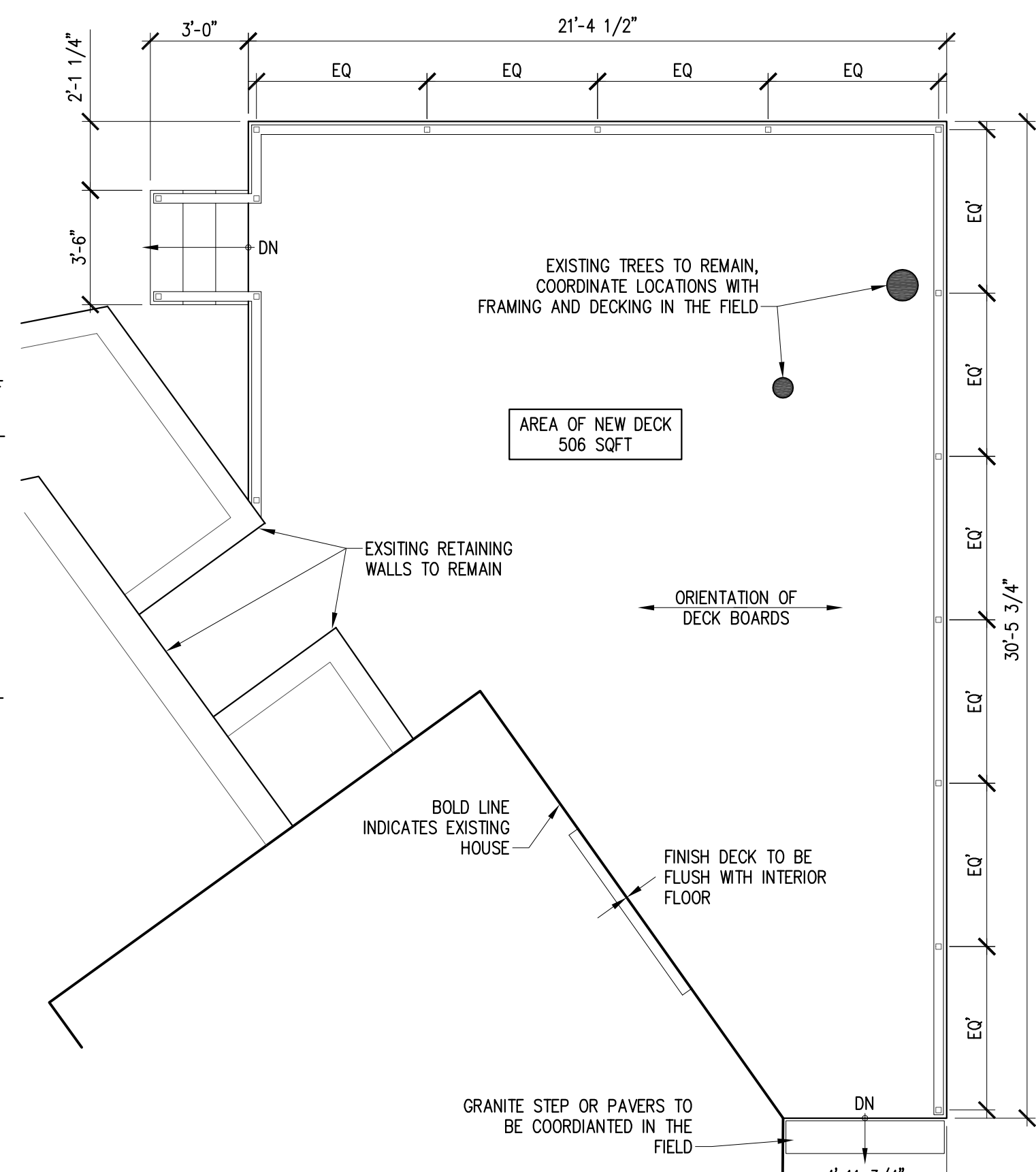
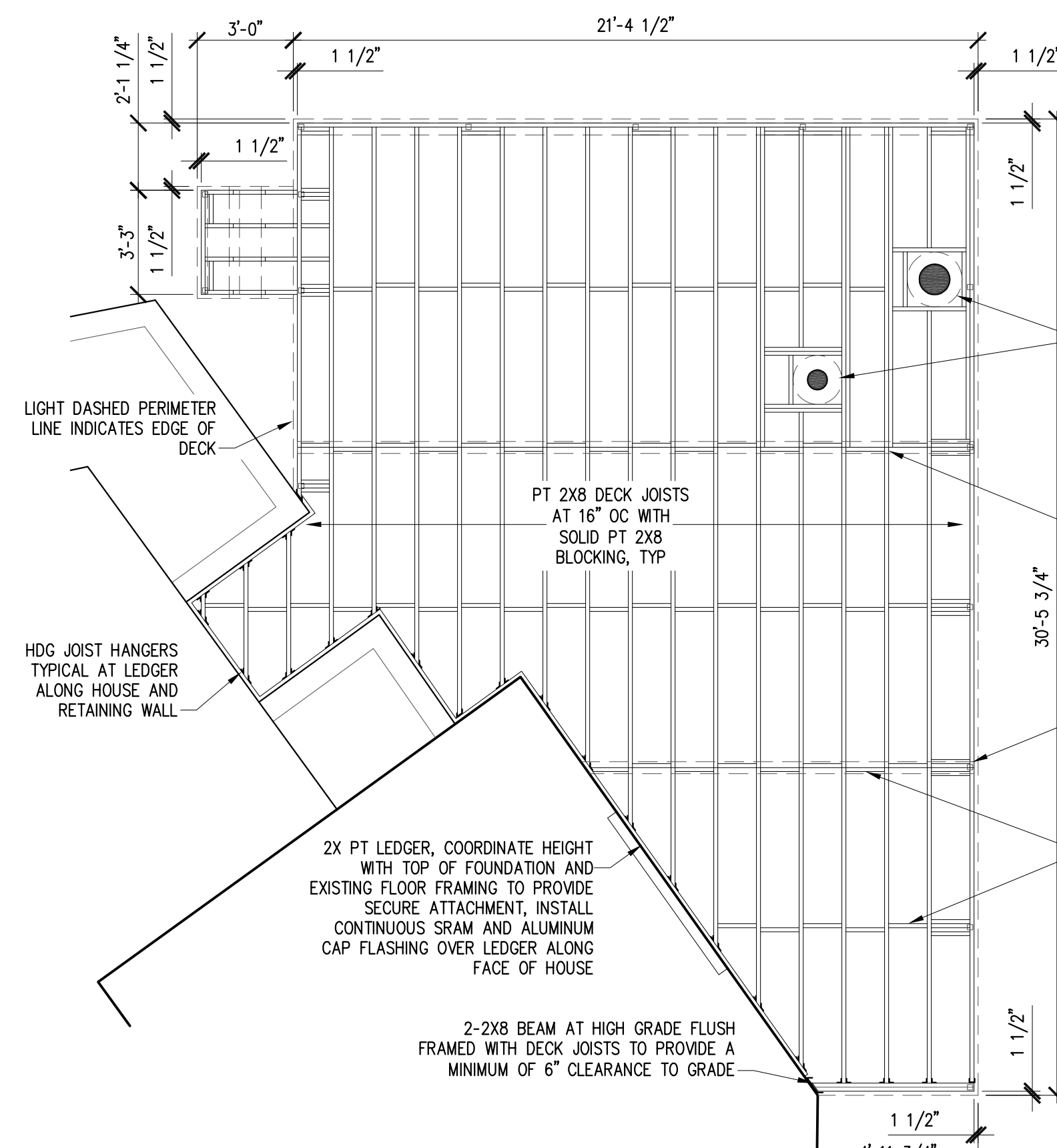
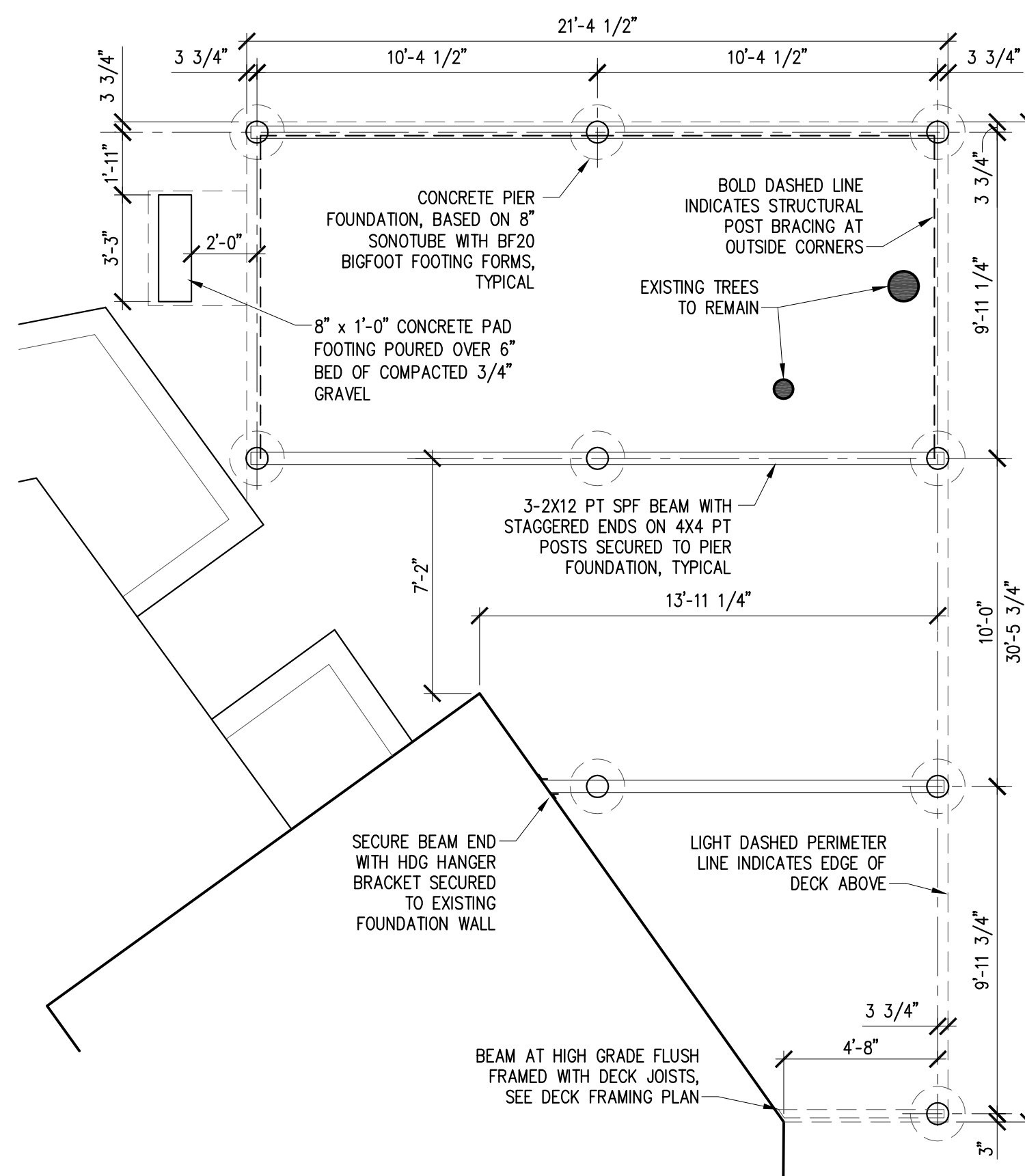
Preservation Planning contends that, though “modern” in style with its cable wiring system, the minimalism of the rail design and the lack of bulk that this style presents, will allow it to further recede into the background at the rear of the lot.

Preservation Planning has proposed conditions for the HPC to consider should it decide to grant a Certificate of Appropriateness (CA) for this project.

III. RECOMMENDED CONDITIONS

Should the HPC decide to issue a Certificate of Appropriateness (CA), Preservation Planning suggests the following conditions to add to any approvals:

1. All relevant permits shall be obtained from ISD prior to the start of work.
2. The applicant shall upload their Certificate of Appropriateness to ISD's permitting system.
3. Any changes made to this proposal as a result of reviews by other permit-granting entities shall be submitted in the form of a new application to Preservation Planning for review and approval by the HPC..
4. The top rail used for the wire railing system shall be of pressure-treated wood or a hardwood.
5. All wood (pressure-treated and/or hardwood) shall be painted or stained.
6. Work shall commence within one year of the date of approval for this Certificate. If work does not commence within one year, the applicant must submit an application to the HPC requesting the re-issuance of the Certificate.
7. The Applicant shall contact Preservation Planning at historic@somervillema.gov a minimum of 15 business days prior to final ISD sign-off so that Preservation Planning or their designee can confirm that the project was completed according to HPC approvals.



- GENERAL NOTES

1. ALL WORK IS TO BE CONSTRUCTED PER THE REQUIREMENTS OF THE CURRENT BUILDING CODE AND THE DIRECTION OF THE LOCAL BUILDING INSPECTOR.
2. ALL MATERIALS, PRODUCTS, HARDWARE, ETC ARE TO BE INSTALLED PER THE MANUFACTURERS REQUIREMENTS, IF ANY OF THE MANUFACTURERS REQUIREMENTS CONFLICT WITH THESE CONSTRUCTION DOCUMENTS CONTACT THE ARCHITECT AND OWNER FOR DIRECTION PRIOR TO PROCEEDING WITH THE WORK.
3. PIER FOUNDATIONS AND FOOTINGS ARE BASED ON CAST IN PLACE CONCRETE SONOTUBE, UTILIZING BF20 FOOTING FORMS, AS MANUFACTURED BY BIGFOOT SYSTEMS, OR PINNED TO LEDGE WITH EPOXY SET #4 HDG REBAR IF ENCOUNTERED, SET BELOW FROST LINE, WITH CAST IN HOLD DOWN STRAPS TO SECURE POST/BEAM ABOVE, AND TO A MINIMUM HEIGHT OF 6" ABOVE FINISH GRADE.
4. ALL GUARDRAIL FRAMING ATTACHMENT AND BLOCKING IS TO BE SECURED WITH A MINIMUM OF FOUR TIMBER SCREWS AT EACH CONNECTION USING TIMBERLOK SCREWS OR APPROVED EQUAL.
5. ALL FRAMING LUMBER IS TO BE PRESERVATIVE TREATED SPRUCE-PINE-FIR (SPF) #2 OR BETTER.

Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No:	SMV.1143
Historic Name:	Vinal, Quincy A. - Tead, Rev. Edward Sampson House
Common Name:	Miley, Lucy House
Address:	8 Aldersey St
City/Town:	Somerville
Village/Neighborhood:	Prospect Hill
Local No:	73-A-007
Year Constructed:	c 1880
Architect(s):	
Architectural Style(s):	Italianate
Use(s):	Boarding House; Multiple Family Dwelling House; Single Family Dwelling House
Significance:	Architecture; Literature; Religion
Area(s):	SMV.BF: Aldersey - Summit Historic District
Designation(s):	Local Historic District (03/04/2003)
Building Materials(s):	Roof: Slate Wall: Vinyl Siding; Wood; Wood Clapboard Foundation: Brick



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

Data available via the MACRIS web interface, and associated scanned files are for information purposes only. THE ACT OF CHECKING THIS DATABASE AND ASSOCIATED SCANNED FILES DOES NOT SUBSTITUTE FOR COMPLIANCE WITH APPLICABLE LOCAL, STATE OR FEDERAL LAWS AND REGULATIONS. IF YOU ARE REPRESENTING A DEVELOPER AND/OR A PROPOSED PROJECT THAT WILL REQUIRE A PERMIT, LICENSE OR FUNDING FROM ANY STATE OR FEDERAL AGENCY YOU MUST SUBMIT A PROJECT NOTIFICATION FORM TO MHC FOR MHC'S REVIEW AND COMMENT. You can obtain a copy of a PNF through the MHC web site (www.sec.state.ma.us/mhc) under the subject heading "MHC Forms."

Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
www.sec.state.ma.us/mhc

This file was accessed on: Monday, August 13, 2018 at 4:18: PM

FORM B – BUILDING



nearest cross streets and/or major natural features. Show all buildings between inventoried building and nearest intersection or natural feature. Label streets including route numbers, if any. Circle and number the inventoried building. Indicate north.

SEE ATTACHED MAP

RECEIVED

JUN 25 2003

MASS. HIST. COMM

Recorded by Gretchen G. Schuler

Organization Somerville Historic Preservation Commission

Date (month / year) June 2002

Assessor's Number USGS Quad Area(s) Form Number

73-A-007

Boston
North

BF 1143

Town SOMERVILLE

Place (neighborhood or village) Prospect Hill

Address 8 Aldersey Street

Historic Name Quincy A. Vinal – rental property

Uses: Present single-family residential

Original multi-family residential

Date of Construction ca. 1880

Source map/directories

Style/Form Italianate

Architect/Builder unknown

Exterior Material:

Foundation brick

Wall/Trim new wood clapboards/wood trim

Roof slate

Outbuildings/Secondary Structures none

Major Alterations (with dates) siding in process of being stripped, some vinyl windows – in progress (Summer 2002)

Condition fair to good

Moved ☒ no ☐ yes Date n/a

Acreage 6342 sq. ft.

Setting South side of Aldersey Street, in a late nineteenth century residential neighborhood of predominately large former single-family dwellings (many converted to multiple units), opposite one of the oldest houses on Prospect Hill. Sloping lot. Chain link fence in front at sidewalk edge. Trimmed evergreens in front of front bay. Driveway on east or left side.

BUILDING FORM

☒ Recommended for listing in the National Register of Historic Places. *If checked, you must attach a completed National Register Criteria Statement form.*

ARCHITECTURAL DESCRIPTION

☐ see continuation sheet

Describe architectural features. Evaluate the characteristics of this building in terms of other buildings within the community.

This L-plan front-gabled house with a projecting centered two-story bay rises from a brick foundation, has been stripped of siding with only the sheathing and some old clapboards revealed, and retains its slate roof. The house is two and one-half stories with a two-story polygonal bay on the front gable over which there is a single attic window in the gable peak, an entrance in the side wing and a partially built porch within the L formed by the front-gabled block and the side wing. Over the partially built porch are partially constructed exterior stairs to reach a boarded over second-story opening on the east side. The entire west side and the gable peak of the side ell are covered with vinyl siding while clapboards are exposed on the sides of the gabled wing. The historic features that presently remain are the boxed and raking cornice with wide returns, the Italianate paired cornice brackets, and the two-over-two sash found on the first and second story windows. The third-story dormers have been replaced with vinyl windows. A new water table and one corner board have been applied. A single chimney rises at the ridge of the main block. The lot drops off substantially at the rear exposing the raised brick basement.

HISTORICAL NARRATIVE

☒ see continuation sheet

Discuss the history of the building. Explain its associations with local (or state) history. Include uses of the building, and the role(s) the owners/occupants played within the community.

Prospect Hill, the highest Somerville area overlooking Boston, became a desirable place for merchants and Boston businessmen to settle from the mid-nineteenth century. Prior to that, the area was in agricultural use. From the 1840s some development occurred on Prospect Hill and by the late 1860s and early 1870s subdivision plans laid out by real estate investors and successful merchants shaped the residential neighborhoods of today. Aldersey Street was laid out in a plan of house lots drawn up by Quincy A. Vinal (1826-1904) in 1868. (Plan Book 15, Plan 64) The Plan, dated November 12, 1868, showed seven lots on the Plan of Building Lots in Somerville owned by Quincy A. Vinal. Aldersdey Street ran from Walnut Street on the east to a long north-south strip of land on the west owned by the Heirs of Robert Vinal, that was part of a 104-building lot plan dated 1869. This house was built on Lot #2 by 1884. Quincy A. Vinal had purchased the land in 1849 and lived from ca. 1850 at 9-11 Aldersey Street (MHC #1136) in one of the first houses built in the immediate neighborhood. His father, Robert Vinal had settled in Somerville in 1824 in the Bow Street area and owned large tracts of land on Prospect Hill. Quincy Vinal's brother, Robert A. Vinal, a prominent resident of Somerville also lived on the hill at the corner of Walnut and Aldersey streets in a property that no longer is extant. The street name, Aldersey, was a family name - the middle name of Robert A. Vinal, Jr. as well as his and Quincy Vinal's father.

Quincy A. Vinal owned this large lot into the twentieth century during which time it was rental property lived in by non-family members. When the street and lots were laid out in 1868 this lot was part of a larger Lot 2 which had 11,693 square feet. Only a small barn or shed was on the lot according to the 1874 map. By 1884 this house had been built on the western side of the lot and the eastern side had two outbuildings only. First known resident of this house was the Reverend Edward Sampson Tead (b. 1852) and family. Tead was the pastor at the Prospect Hill Congregational Church from 1884 until 1901, but lived here into the 1910s. He had been born in Jamaica Plain and studied at Amherst, Yale Divinity and Andover Theological Seminary before becoming pastor in Cumberland Mills, Maine. Tead was called to the Prospect Hill Church from the Maine post. The Prospect Hill Congregation had been organized in 1874 and was first housed on Warren Avenue. Tead was the pastor during when the congregation decided to build the new edifice on the corner of Bow and Walnut streets. The Romanesque style building, which is extant, was designed by Henry S. McKay. Tead had five

INVENTORY FORM CONTINUATION SHEET

Town
SOMERVILLE

Property Address
8 ALDERSEY ST.
Area(s) Form No.

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

1143

children, one of whom probably was Donald Tead who published a weekly church bulletin called "The Prospect" in the 1890s. The bulletins were published from this home address.

Later residents were more transient and there were some years in which this house may have served as a boarding house. For instance in the mid 1920s there were up to five seemingly unrelated persons living here who worked in several trades.

As with 6 Aldersey Street this house was rental property for the Vinals and did not leave Vinal ownership until the late 1940s when both 6 and 8 Aldersey Street were sold by trustees or by the bank. This house was purchased by Lucy Miley in 1948 and her deed, which came from Guardian Deeds and probates because the property had been split among many estates, sheds light on a Vinal family mystery. The title for this house was tied to the estates of Quincy A. Vinal, his wife, his daughters, including one married daughter – Sarah Vinal Keene and her heirs, and one son who is not referenced in Vinal's 1904 obituary, which only noted his wife and seven daughters. Attached to this 1948 deed is an affidavit from an attorney, Frank W. Kaan, who stated that he knew that Quincy A. Vinal (d. July 14, 1904) and Augusta S. Vinal (d. March 7, 1910) had a son "who is known in various probates in the said Middlesex County as Quincy Peirce Vinal, Percy Vinal, Quincy Percival Vinal, and Quincy Pierce Vinal, all the same one who was presumed to be dead but later appeared and was fully accepted as the son of Quincy A. Vinal and Augusta S. Vinal." In fact this accounts for the Quincy P. Vinal who is listed as living at 9 Aldersey Street – the family homestead – in the early 1940s and was 82 years old in 1942.

The 1940s deeds are the first indication of two separate lots for 6 and 8 Aldersey Street because they remained in the estates of the family members from the times of construction until the 1940s and both served as rental property.

BIBLIOGRAPHY and/or REFERENCES

☒ *see continuation sheet*

Landscape Research. Beyond the Neck. Cambridge: MA 1982.

Middlesex South Registry of Deeds: Deeds including affidavit in Book 7254, Page 325.

Somerville City Directories. 1871-72 through 1930.

Somerville Public Library: Local History Room, Vertical Biography Files and Prospect Hill Congregational Church box – "The Prospect".

Maps:

Bromley, George. Atlas of the City of Somerville. Philadelphia, 1895.

Hopkins, G.M. and Co. Atlas of the City of Somerville, Massachusetts. Philadelphia, 1874.

Hopkins, G.M. and Co. Atlas of the City of Somerville, Massachusetts. Philadelphia, 1884.

Middlesex Registry of Deeds, So. Dist. Cambridge, MA. Plan of Building Lots in Somerville owned by Quincy A. Vinal, Nov. 12, 1868. Plan Book 15, Plan 64.

8 Aldersey Street

SMV.1143



City of
Somerville
Massachusetts



Assessors Map

- Parcel Boundary
- Block Boundary
- Assessor Map Boundary
- Water Body
- Building
- Railroad ROW

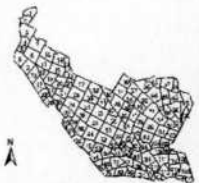
Lot Dimensions
Lot Number
Square Footage
Frontage Dimension
Street Address



1" = 80'
January 3, 2001

Source: Right-of-way and building footprints developed from Boston Edison Company data, 1993. Parcel data developed from assessor maps by Camp Dresser & McKee, 1999.

NOTE: The data represented on these maps indicate district and administrative boundaries of cadastral boundaries in the City of Somerville. They are NOT survey data and should not be treated as such.



73

MASSACHUSETTS HISTORICAL COMMISSION
MASSACHUSETTS ARCHIVES BUILDING
220 MORRISSEY BOULEVARD
BOSTON, MASSACHUSETTS 02125

Community Property Address
SOMERVILLE 8 ALDERSEY ST.

Area(s) Form No. 1143

National Register of Historic Places Criteria Statement Form

Check all that apply:

- ☐ Individually eligible ☐ Eligible **only** in a historic district
☒ Contributing to a potential historic district ☐ Potential historic district

Criteria: ☒ A ☐ B ☒ C ☐ D

Criteria Considerations: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F ☐ G

Statement of Significance by Gretchen G. Schuler
The criteria that are checked in the above sections must be justified here.

This house built by Quincy A. Vinal for rental property could be referred to as the Reverend Edward S. Tead House for the long time occupancy of an important local figure. It is eligible for the National Register of Historic Places as part of an Aldersey Street district for its representation of the variety of dwellings built here following the 1868 subdivision and for its interesting association with the Vinals as well as an important figure in the Prospect Hill Church, the Rev. Edward S. Tead.